

# PRELIMINARY PLAT OFFICIAL RE-PLAT OF HYPERION WOODS LOTS 2, 3, 6, 7, & OUTLOT 'Z'

Sheet 1 of 2

OWNER/APPLICANT  
PARAMOUNT DESTINATION HOMES, INC.  
2540 73rd STREET  
URBANDALE, IOWA 50322  
ATTN: JAMIE MYERS

ZONING  
R-1 (100) SINGLE FAMILY RESIDENTIAL

SETBACKS  
FRONT - 40'  
REAR - 40'  
SIDE - 10' MIN. (21' TOTAL)

UTILITIES  
WATER: JOHNSTON WATER SYSTEM  
SANITARY SEWER: CITY OF JOHNSTON SANITARY SEWER SYSTEM

LEGAL DESCRIPTION  
Lots 2, 3, 6, 7, & Outlot 'Z', Hyperion Woods, an official plat, city of Johnston, Polk County, Iowa, Recorded Book 17328, Page 2640, in the Polk County Recorder Office.

Said tract of land contains 3.696 acres more or less.

Said tract of land being subject to any and all easements of record.

## BENCHMARK

CITY OF JOHNSTON BENCHMARK #12  
MONUMENT DESCRIPTION: STANDARD CONTROL MONUMENT IN CONCRETE CYLINDER, STAMPED "CITY OF JOHNSTON, IOWA BENCHMARK NO. 12". THE MONUMENT IS LOCATED IN THE GRASS, SOUTHWEST OF THE INTERSECTION OF MERLE HAY ROAD AND NW BEAVER DRIVE.

ELEVATION-----944.54'

## FIRM DESIGNATION

COMMUNITY PANEL NUMBER: 190745 0004D, JULY 19, 2000  
ZONE 'X', AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN

## LEGEND

EXISTING/PROPOSED		PLAT BOUNDARY
	ST 18"	STORM SEWER & SIZE
	SAN 8"	SANITARY SEWER & SIZE
	W 8"	WATER MAIN & SIZE
		MANHOLE
		STORM INTAKE
		FIRE HYDRANT
		VALVE
		F.E.S.
		EXISTING CONTOURS
		PROPOSED CONTOURS
		SILT FENCE OR APPROVED FILTRATION SOCK

## CERTIFICATION

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

CHRISTOPHER A. THOMPSON, P.E. IOWA LICENSE NO. 25323  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2020  
PAGES OR SHEETS COVERED BY THIS SEAL:  
Sheets 1-2

**COOPER CRAWFORD**  
& ASSOCIATES, L.L.C.  
CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

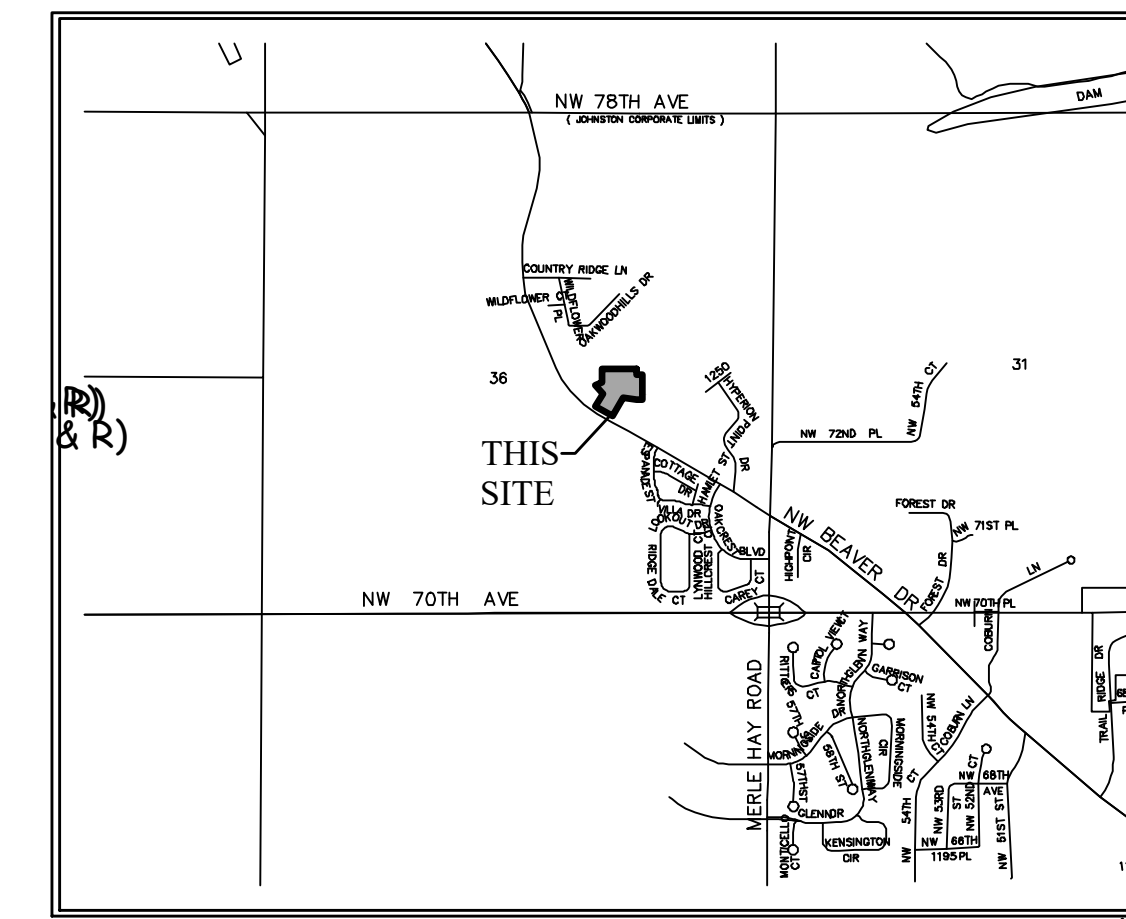
DATE: 12-22-2017  
REVISIONS: \_\_\_\_\_ JOB NUMBER

SCALE: 1"=50'  
APPROVED: \_\_\_\_\_ INITIALS: \_\_\_\_\_ AS-BUILT: \_\_\_\_\_

PRELIMINARY PLAT  
HYPERION WOODS

CC  
2336

SHEET  
1 OF 2



VICINITY SKETCH

NORTH  
SCALE: 1"=2000'

## SHEET INDEX

- 1 DIMENSION PLAN
- 2 GRADING PLAN

## NOTES

1. WORK WILL BE PERFORMED TO THE 2020 SUDAS SPECIFICATIONS AND THE 2017 CITY OF JOHNSTON SUPPLEMENTAL SPECIFICATIONS.
2. LOTS SHALL DISCHARGE FOOTING DRAINS TO REAR YARDS.
3. DETENTION AREAS WILL BE MAINTAINED BY A HOME OWNERS ASSOCIATION.
4. ALL STRUCTURES LOCATED ON LOTS THAT HAVE A MINIMUM PROTECTION ELEVATIONS IDENTIFIED SHALL CERTIFY THAT THE STRUCTURE MEETS THAT ELEVATION PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THAT STRUCTURE.
5. EACH LOT WE BE REQUIRED TO HAVE RAIN BARRELS OR RAIN GARDENS AS A MEANS TO PROVIDE WATER QUALITY VOLUME. THE REQUIRED VOLUME PER LOT IS 165 CF.

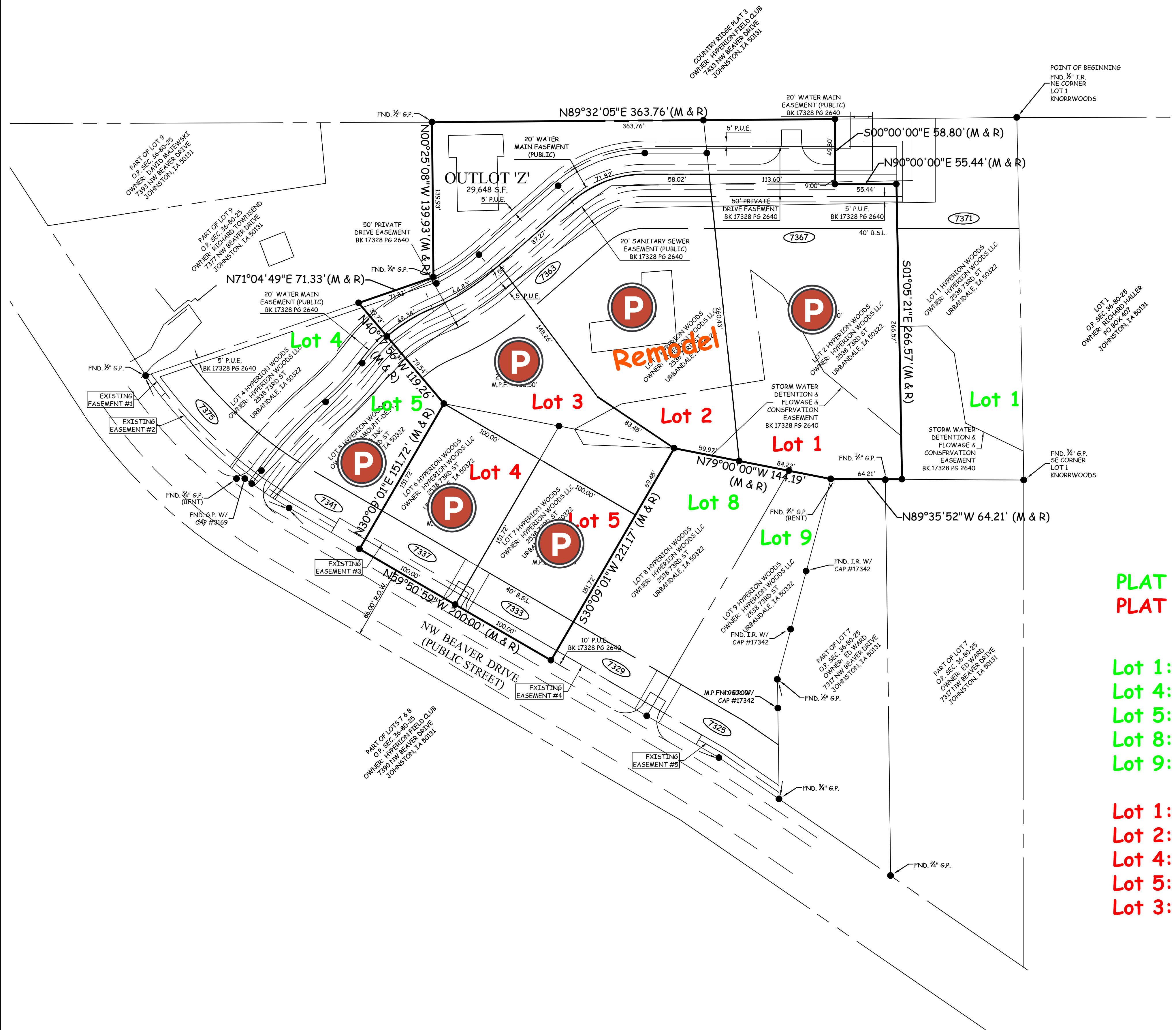
## EASEMENTS

- #1 5' PERMANENT STORM SEWER & DRAINAGE EASEMENT
- #2 5' TEMPORARY CONSTRUCTION EASEMENT
- #3 15' TEMPORARY CONSTRUCTION EASEMENT
- #4 10' PERMANENT STORM SEWER & DRAINAGE EASEMENT
- #5 5' TEMPORARY CONSTRUCTION EASEMENT

PLAT 1  
PLAT 2

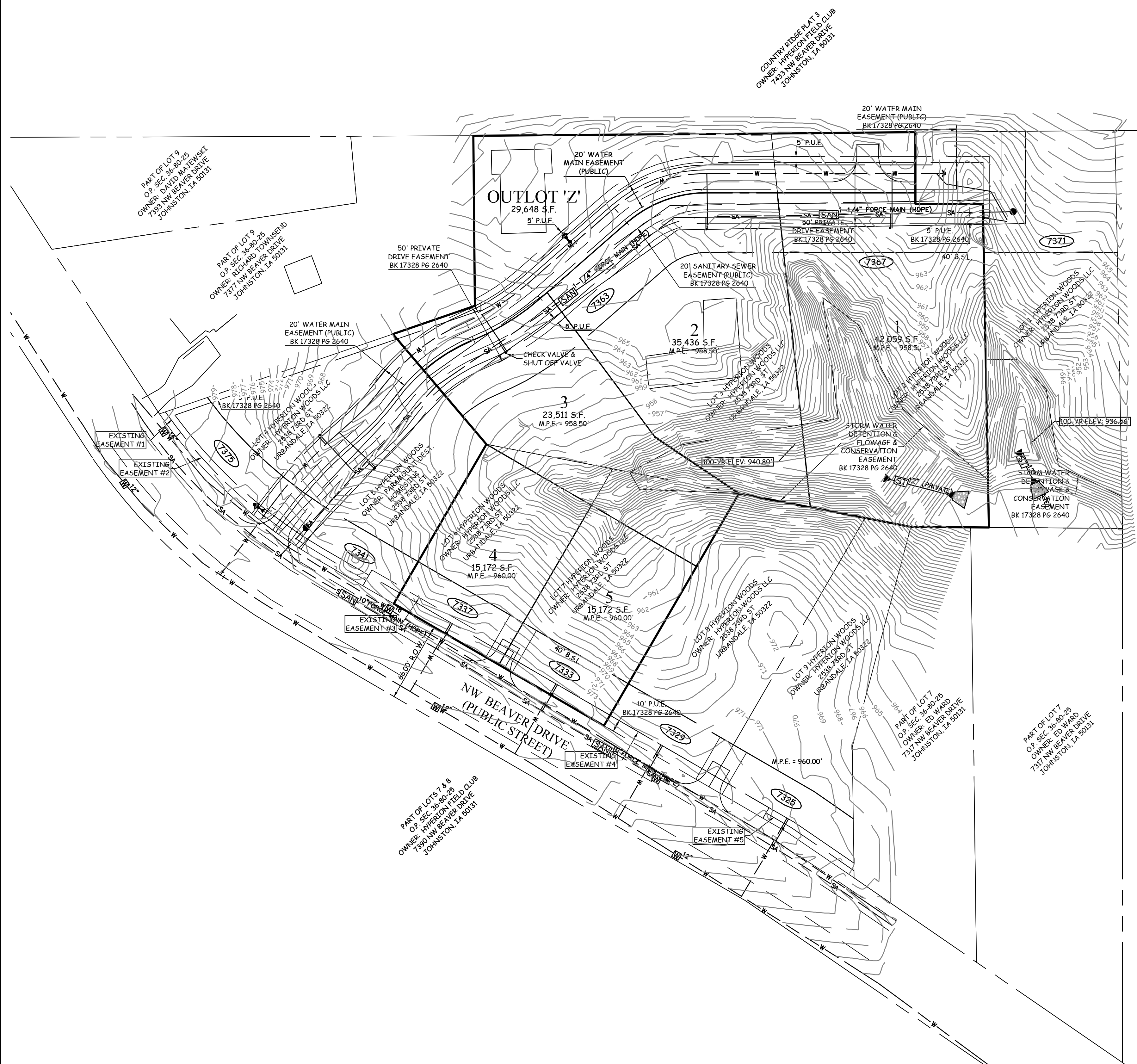
Lot 1: 7371  
Lot 4: 7375  
Lot 5: 7341  
Lot 8: 7329  
Lot 9: 7325

Lot 1: 7367  
Lot 2: 7363  
Lot 4: 7337  
Lot 5: 7333  
Lot 3: 7359



# PRELIMINARY PLAT OFFICIAL RE-PLAT OF HYPERION WOODS LOTS 2, 3, 6, 7, & OUTLOT 'Z'

Sheet 2 of 2



### UTILITY NOTES

1. SANITARY SERVICES SHALL BE 1 1/2" HDPE.
2. WATER SERVICE SHALL BE 1" COPPER PIPE.
3. WATER SERVICE SHALL BE LIVE TAP.

### BENCHMARK

CITY OF JOHNSTON BENCHMARK #12  
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| ---               | PLAT BOUNDARY                          |
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| ⊕                 | STORM INTAKE                           |
| ⊕                 | FIRE HYDRANT                           |
| ⊕                 | VALVE                                  |
| △                 | F.E.S.                                 |
| ~ 990             | EXISTING CONTOURS                      |
| ▭ 990             | PROPOSED CONTOURS                      |
| * * *             | SILT FENCE OR APPROVED FILTRATION SOCK |

## COOPER CRAWFORD & ASSOCIATES, L.L.C.

CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 5-7-2020  
REVISIONS:

SCALE: 1"=50'

APPROVED: --- INITIALS: --- AS-BUILT: ---

PRELIMINARY PLAT  
HYPERION WOODS

JOB NUMBER  
**CC  
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SHEET  
2 OF 2

